

Procurement Office
495 Upper Falls Blvd.
Rochester, NY 14605
Fax: 585-697-7164
WWW.ROCHESTERHOUSING.ORG

May 16, 2022

ADDENDUM #1

To: Potential Bidders

RE: Rochester Housing Authority

Scattered Site
Parking Lot Replacement
16 Pages including this cover sheet

See Attached

Acknowledgement:

I have received the above referenced Addendum #1 and have used it in the calculation/preparation of this bid.

Contractor

Without acknowledgement of this addendum your bid may be non-responsive.

Request for Construction Services: RHA Scattered Parking Lots

Addendum No. 1

This addendum is being issued to provide clarifications and respond to questions by potential bidders as of May 10, 2022. The following questions and answers apply to this contract:

1. **CLARIFICATION: At the site located at 90 Dr. Samuel McCree Way, also known as Bronson Court, the entire parking lot will be full depth construction per Detail No. 3 on sheet MD-01.**
2. **CLARIFICATION: Drawing MD-02, Detail 8 – Typical Driveway Apron has been modified to reflect a 7-inch required thickness of the concrete apron, drawing attached.**
3. **CLARIFICATION: All existing catch basins to remain in any of the parking lots shall be cleaned of dirt and debris. It is NOT part of the scope in this contract to clean existing conduit/pipes attached to the existing catch basins.**
4. **CLARIFICATION: The following notes apply to all parking lot locations:**

Temporary Protection of Free Egress to and from buildings/units:

- a. **THE GENERAL CONTRACTOR TO PROVIDE OSHA COMPLIANT, TEMPORARY PROTECTION AT ALL BUILDING ENTRANCES/EXITS WHERE WORK IS OCCURRING. THE CONTRACTOR IS TO SUBMIT TO THE OWNER A SAFETY PLAN DESCRIBING IN DETAIL THEIR PROPOSED METHOD FOR PROTECTION OF THE PUBLIC. ALSO SEE SPECIFICATION SECTION 0150 00.**
 - b. **THE GENERAL CONTRACTOR IS TO BE RESPONSIBLE FOR MAINTAINING FREE AND CLEAR INGRESS AND EGRESS INTO THE EXISTING APARTMENTS/TOWNHOME BUILDINGS DURING THE WORK PERIOD. THE CONTRACTOR IS TO SUBMIT TO THE OWNER A SAFETY PLAN DESCRIBING IN DETAIL THEIR PLAN TO PROVIDE OSHA COMPLIANT TEMPORARY WALKWAYS, PLATFORMS, STAIRS, RAMPS, GUARDRAILS, ETC. AS REQUIRED TO MAINTAIN A CLEAR INGRESS/EGRESS FROM THE RESIDENTIAL UNITS AT ALL TIMES IN THE AREAS OF WORK. ALSO SEE SPECIFICATION SECTION 0150 00.**
5. **ADDITIONAL INFORMATION: The Rochester Housing Authority applied for and received a Right-of-Way Permit from the City of Rochester, permit attached.**

6. QUESTION: Is there a phasing Plan for the Project?

ANSWER: As part of this addendum phasing plan is included for guidance purposes only. The Contractor shall provide a proposed schedule and phasing plan to the Owner 10 days after the Notice to Proceed for Owner approval.

The Rochester Housing Authority has not grouped the site locations or prioritized the site locations in any order of sequence. On the attached drawings, each site has been broken up into 1 to 3 work areas. The following phase guidance shall not dictate means and methods of any Contractor:

LOCATIONS OF RECONSTRUCTION

1-3 THOMAS STREET

112 CENTRAL PARK

182 TROUP STREET

223 TROUP STREET

- 1. Install Temporary & Safety controls to protect the public including, but not limited to, barricades, way finding signs, protective work area fencing, and other temporary facilities as necessary.**
- 2. Perform demolition and removal of materials in Work Area 1 followed by compaction of remaining sub-base and temporary ramps for Fire Fighting Vehicles or other First Responders.**
- 3. Begin new construction including additional compacted subbase material, concrete forming, etc. in Work Area 1.**
- 4. Install new concrete curb, sidewalks, steps, and ramps as shown on the drawings in Work Area 1.**
- 5. Install new asphalt and striping in Work Area 1.**
- 6. Perform necessary removal of existing sidewalk flags, prepare and compact section, then install new concrete in Work Area 2, while protecting Work Area 1.**
- 7. Install new fences and restore grass areas per plans.**
- 8. Remove all waste material, equipment, Temporary & Safety controls to protect the public including, but not limited to, barricades, way finding signs, protective work area fencing, and other temporary facilities.**

RECONSTRUCTION Cont.

90 DR. SAMUEL MCCREE WAY

1. Install Temporary & Safety controls to protect the public including, but not limited to, barricades, way finding signs, protective work area fencing, and other temporary facilities as necessary.
2. Perform demolition and removal of materials in Work Area 1 followed by compaction of remaining sub-base and temporary ramps for Fire Fighting Vehicles or other First Responders.
3. Begin new construction including additional compacted subbase material, concrete forming, etc. in Work Area 1.
4. Install new concrete curb, sidewalks, steps, and ramps as shown on the drawings in Work Area 1.
5. Install new asphalt and striping in Work Area 1.
6. Repeat in Work Areas 2 & 3 individually allowing for tenant parking in the Work Areas not under construction.
7. Restore grass areas per plans.
8. Remove all waste material, equipment, Temporary & Safety controls to protect the public including, but not limited to, barricades, way finding signs, protective work area fencing, and other temporary facilities.

LOCATION OF MILLING AND FILLING

143-145 TROUP STREET

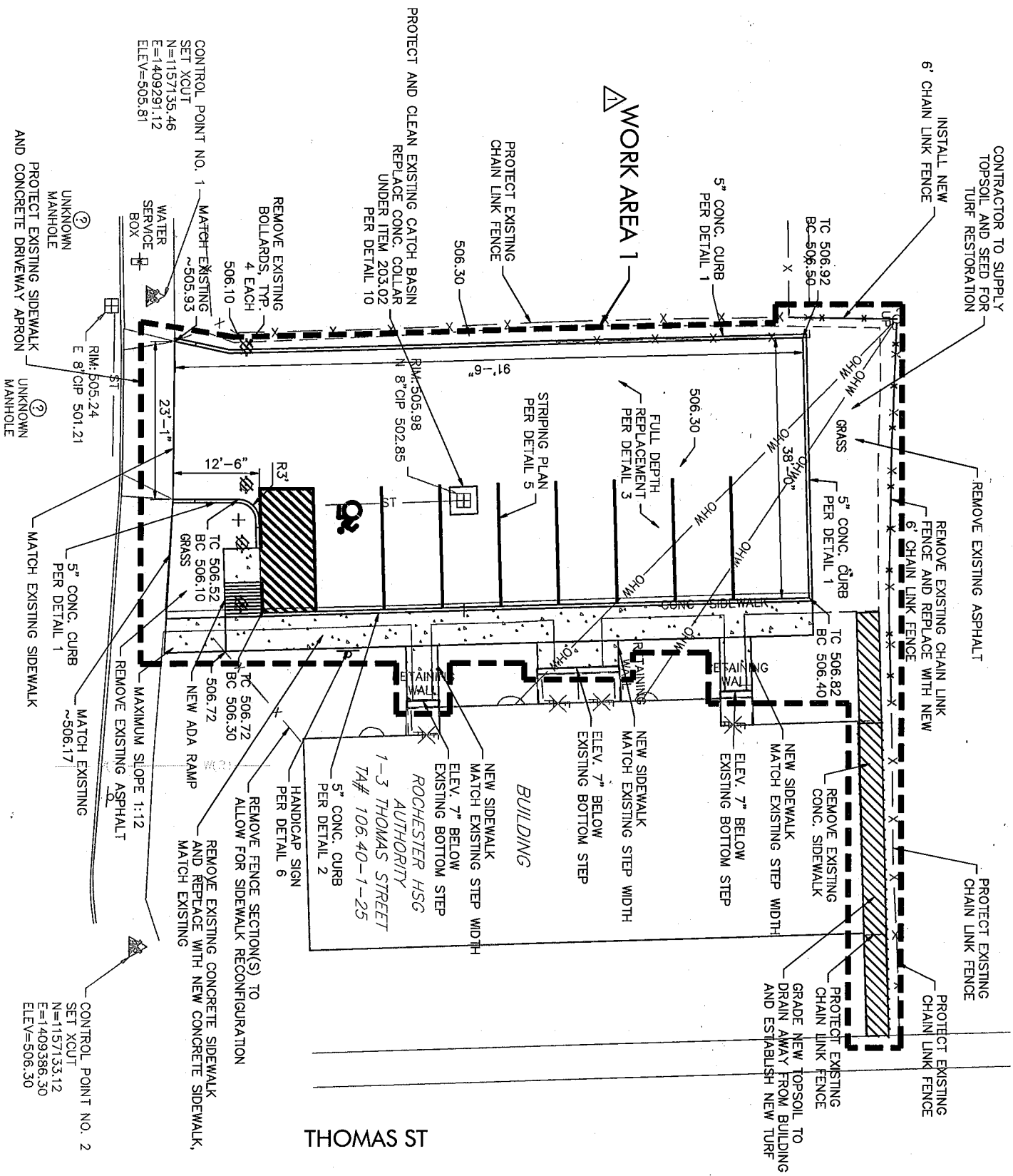
1. Install Temporary & Safety controls to protect the public including, but not limited to, barricades, way finding signs, protective work area fencing, and other temporary facilities as necessary.

LOCATIONS OF SEALING AND STRIPING

292 TREMONT STREET

115-119 BARTLETT STREET

1. Install Temporary & Safety controls to protect the public including, but not limited to, barricades, way finding signs, protective work area fencing, and other temporary facilities as necessary.
2. Perform asphalt sealing Work Area 1, followed by striping.
3. Perform necessary removal of existing sidewalk flags, prepare and compact section, then install new concrete in Work Area 2, while protecting Work Area 1.
4. Remove all waste material, equipment, Temporary & Safety controls to protect the public including, but not limited to, barricades, way finding signs, protective work area fencing, and other temporary facilities.



- 4. REMOVE AND EDGE OF PAI
- 5. REMOVE EXIS SIDEWALK IS
- 6. SLOPE ASPH. TOWARDS LO
- 7. CONTRACTOR TOPSOIL TO AREAS.
- 8. CLEAN EXIST

WORK AREA PHASING ONLY. CONTRACT PHASING PLAN, 10 D,

UPPER FALLS BLVD

THOMAS ST

CONTROL POINT NO. 1
SET XCUT
N=1157135.46
E=1409291.12
ELEV=505.81

CONTROL POINT NO. 2
SET XCUT
N=1157133.12
E=1409386.30
ELEV=506.30

PROTECT EXISTING SIDEWALK AND CONCRETE DRIVEWAY APRON UNKNOWN MANHOLE

MATCH EXISTING SIDEWALK PER DETAIL 1

MATCH EXISTING SIDEWALK PER DETAIL 1

MATCH EXISTING SIDEWALK PER DETAIL 1

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MATCH EXISTING SIDEWALK PER DETAIL 1

WORK AREA 1

STRIPING PLAN
PER DETAIL 5

PROTECT EXISTING FENCE

4. CC
TC
UN
5. CL

PROTECT AND CLEAN EXISTING CATCH BASIN
REPLACE CONC. COLLAR (12" MAX.)
UNDER ITEM 203.02
PER DETAIL 10

PROTECT EXIST. BUILDING
62'-8"

493.5
FULL DEPTH
RECONSTRUCTION
PER DETAIL 3

TC 493.72
BC 493.5

58'-0"
RIM: 492.78
PLUGGED UNDER WATER

492.9

R8'

NEW GRASS
(GRASS
TURF)

493.0

RIM: 492.22
PLUGGED WITH LEAVES

NEW SIDEWALK AND CURB
PER DETAIL 2
PROTECT EXISTING FENCE
NEW CONCRETE SIDEWALK
MATCH EXISTING ASPHALT SIDEWALK

ROCHESTER HSG AUTHORITY
112 CENTRAL PARK
TA# 106.50-1-33.002

ASPHALT SIDEWALK

BUILDING

TC 493.72
BC 493.0

492.7
EXISTING ELEV.

25'-6"

CONC SIDEWALK

492.7
MATCH EXISTING STREET ELEV.

492.4
REPLACE CONC. SIDEWALK

REPAIR CLEAN OUT HOUSING,
PROVIDE NEW COVERS,
SET TO NEW SURFACE ELEVATION

REPLACE CONCRETE APRON
PER DETAIL 8

FROMM PLACE

WORK AREA 2

PROVIDE UNIFORM SLOPE

CENTRAL PARK

CONC SIDEWALK

CONTROL POINT NO. 4
SET MAG NAIL
N=1156623.84
E=1412782.29
ELEV=493.72

TOP OF CURB GRANITE
BOTTOM OF CURB GRANITE

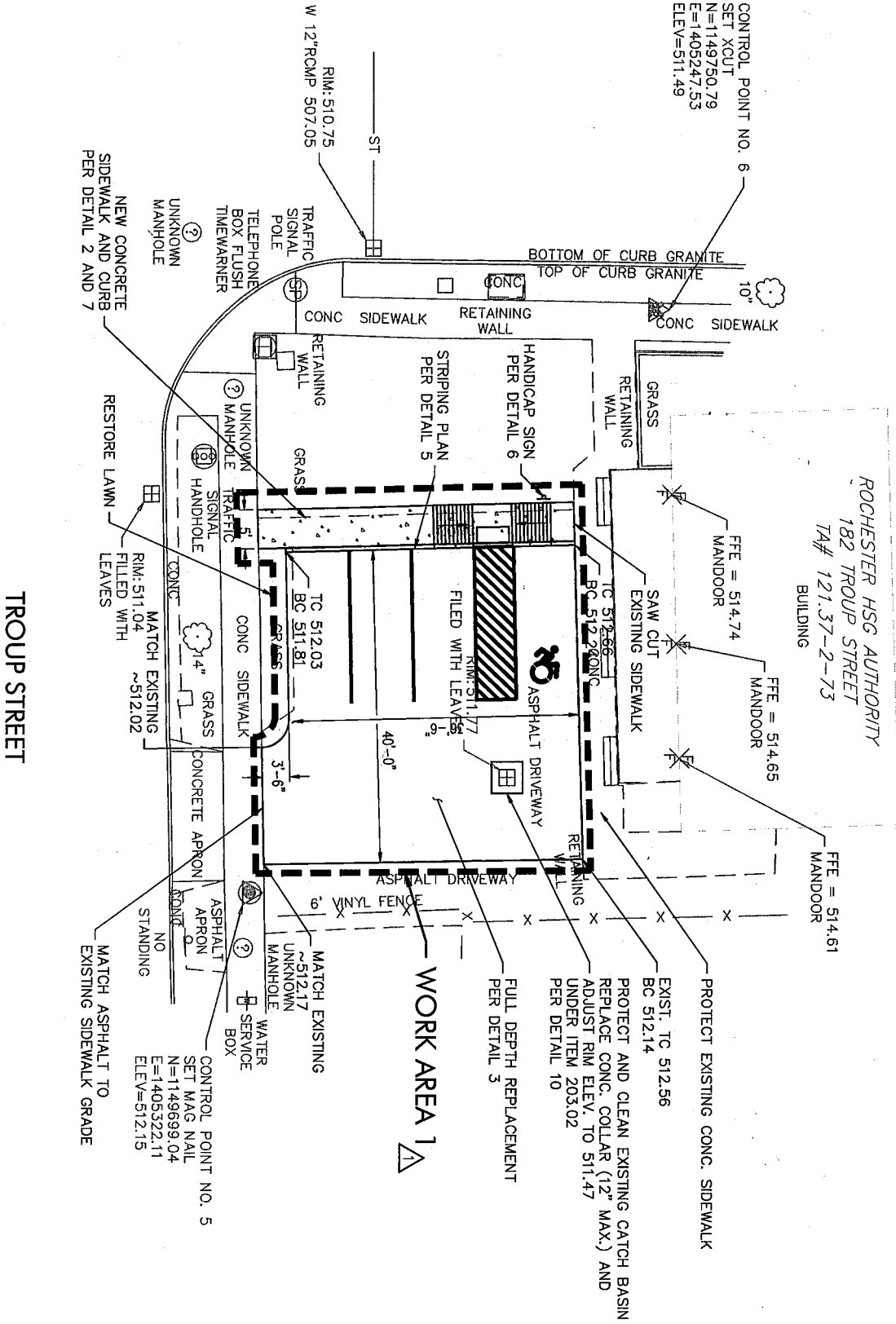
CONC SIDEWALK

492.7
MATCH EXISTING STREET ELEV.

492.4
REPLACE CONC. SIDEWALK

WORK AREA PHASING ONLY. CONTRACT PHASING PLAN, 10 D,

FORD STREET



ROCHESTER HSG AUTHORITY
 182 TROUP STREET
 TA# 121.37-2-73
 BUILDING

TROUP STREET

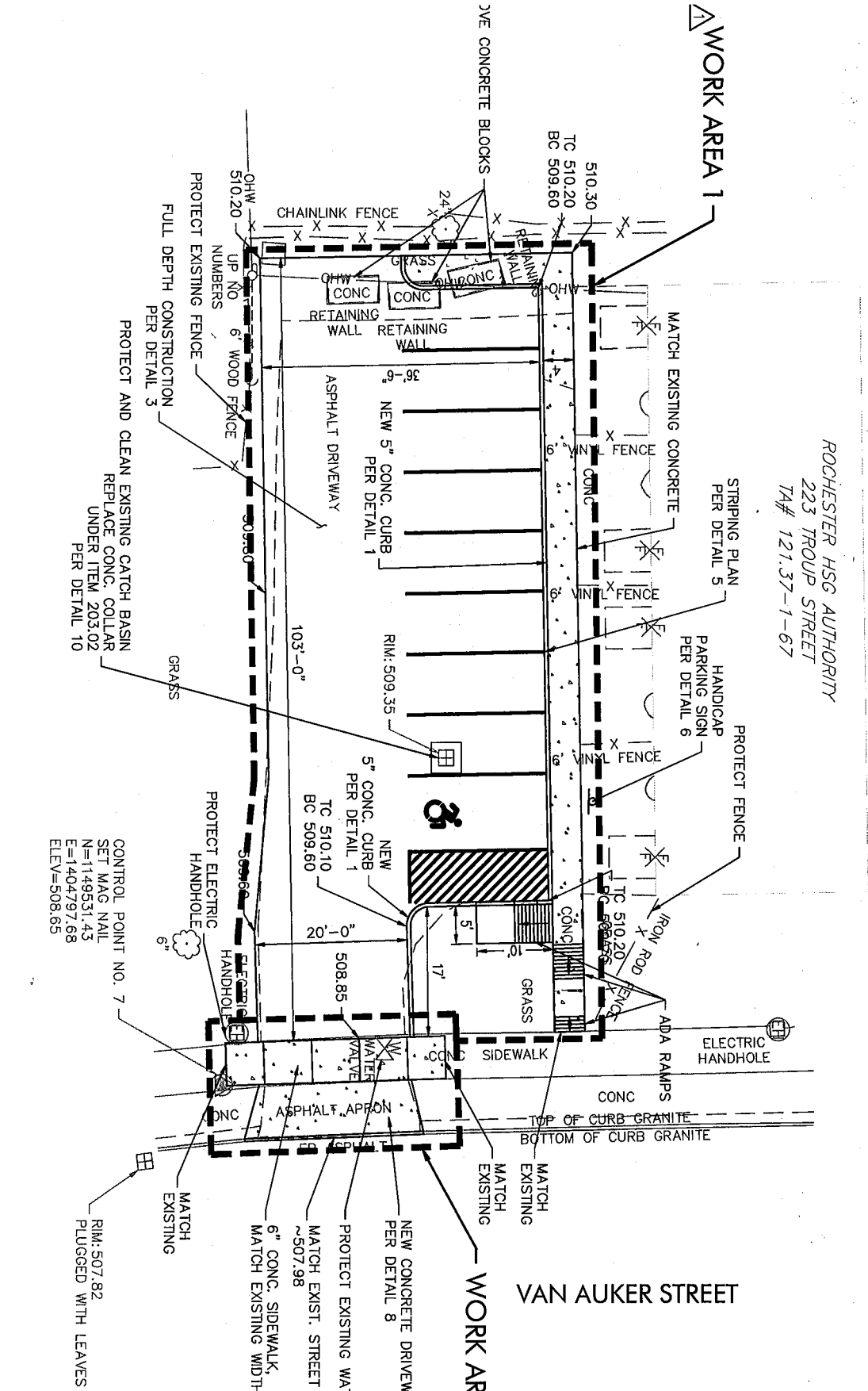
- 4. CONTRACTOR TO TOPSOIL TO AREAS.
- 5. CLEAN EXIS.

WORK AREA PHASING ONLY. CONTRACT PHASING PLAN, 10 D,

- 7. SURF ASPHALT TOWARDS LOW
- 5. CONTRACTOR'S TOPSOIL TO REAREAS.
- 6. CLEAN EXISTING

TROUP STREET

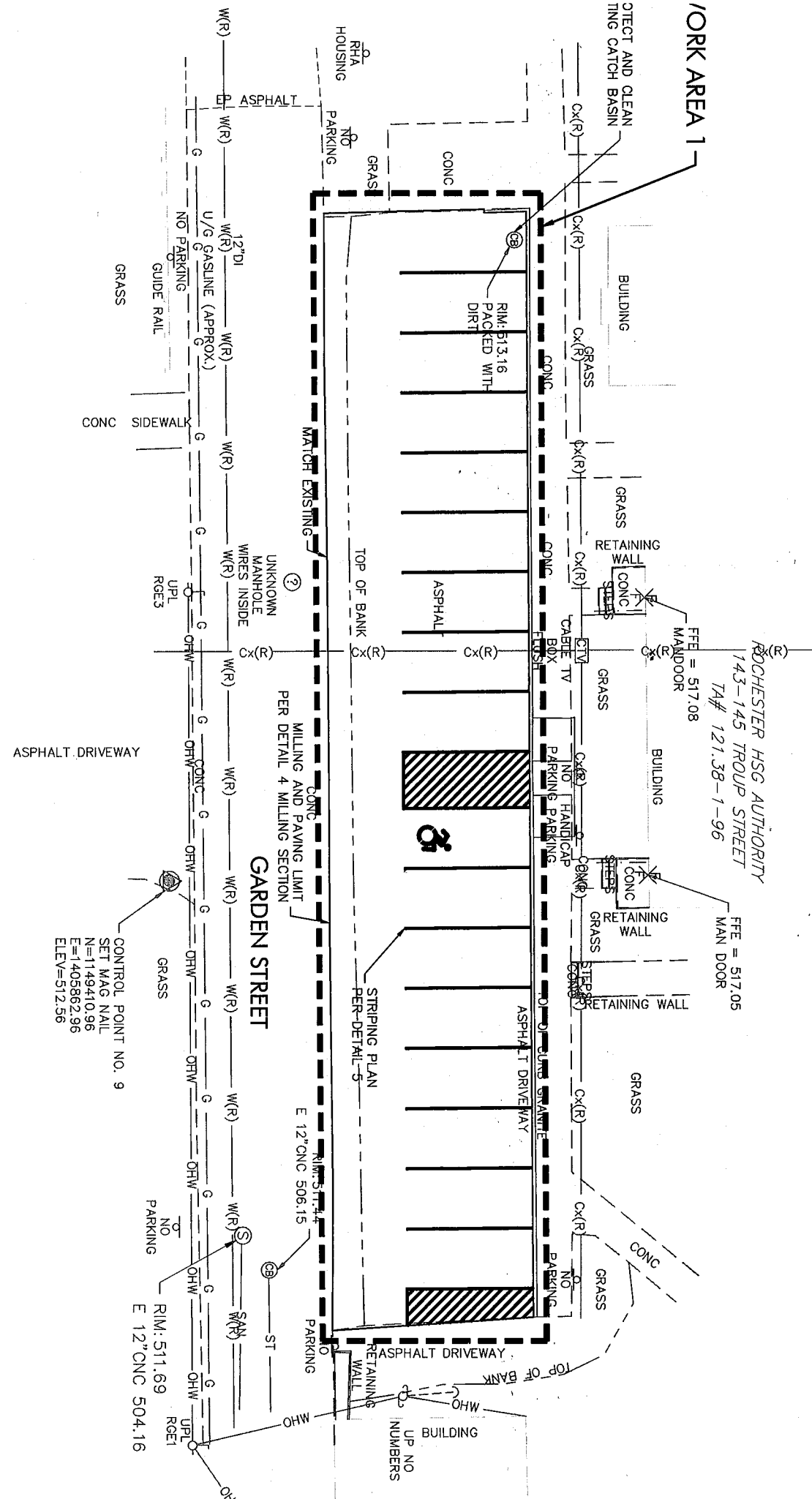
ROCHESTER HSG AUTHORITY
223 TROUP STREET
TA# 121.37-1-67



CONTROL POINT NO. 8
SET XCUT
N=1149637.40
E=1404793.10
ELEV=508.85

WORK AREA PHASING ONLY. CONTRACT PHASING PLAN, 10 D,

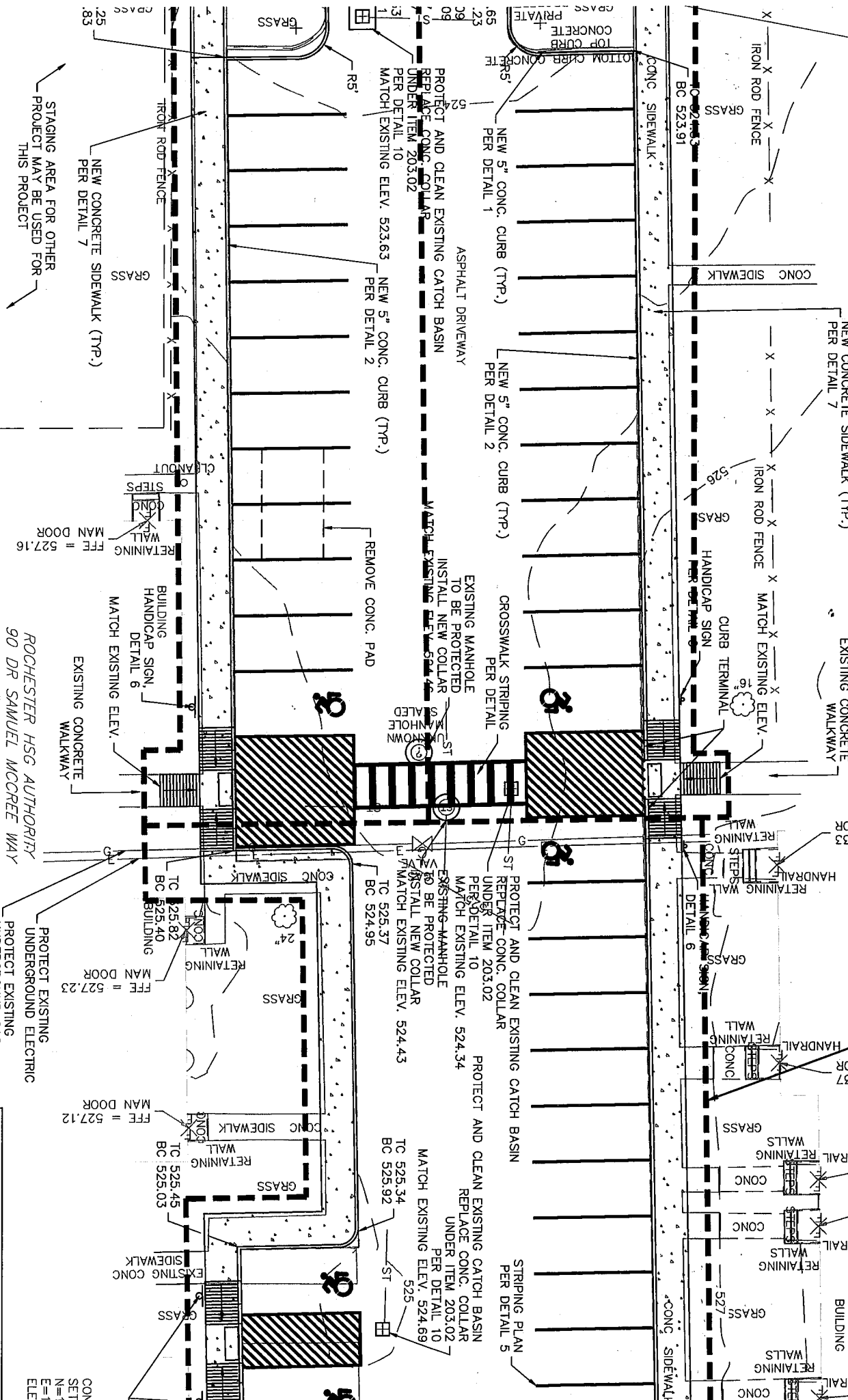
ROCK AREA 1



CONTROL POINT NO. 9
 SET MAG NAIL
 N=1149410.96
 E=1405862.96
 ELEV=512.56

WORK AREA PHASING
 ONLY. CONTRACT
 PHASING PLAN, 10 D,

CONTROL POINT NO. 14
 SET REBAR
 N=1148007.92
 E=1404282.82
 ELEV=524.22

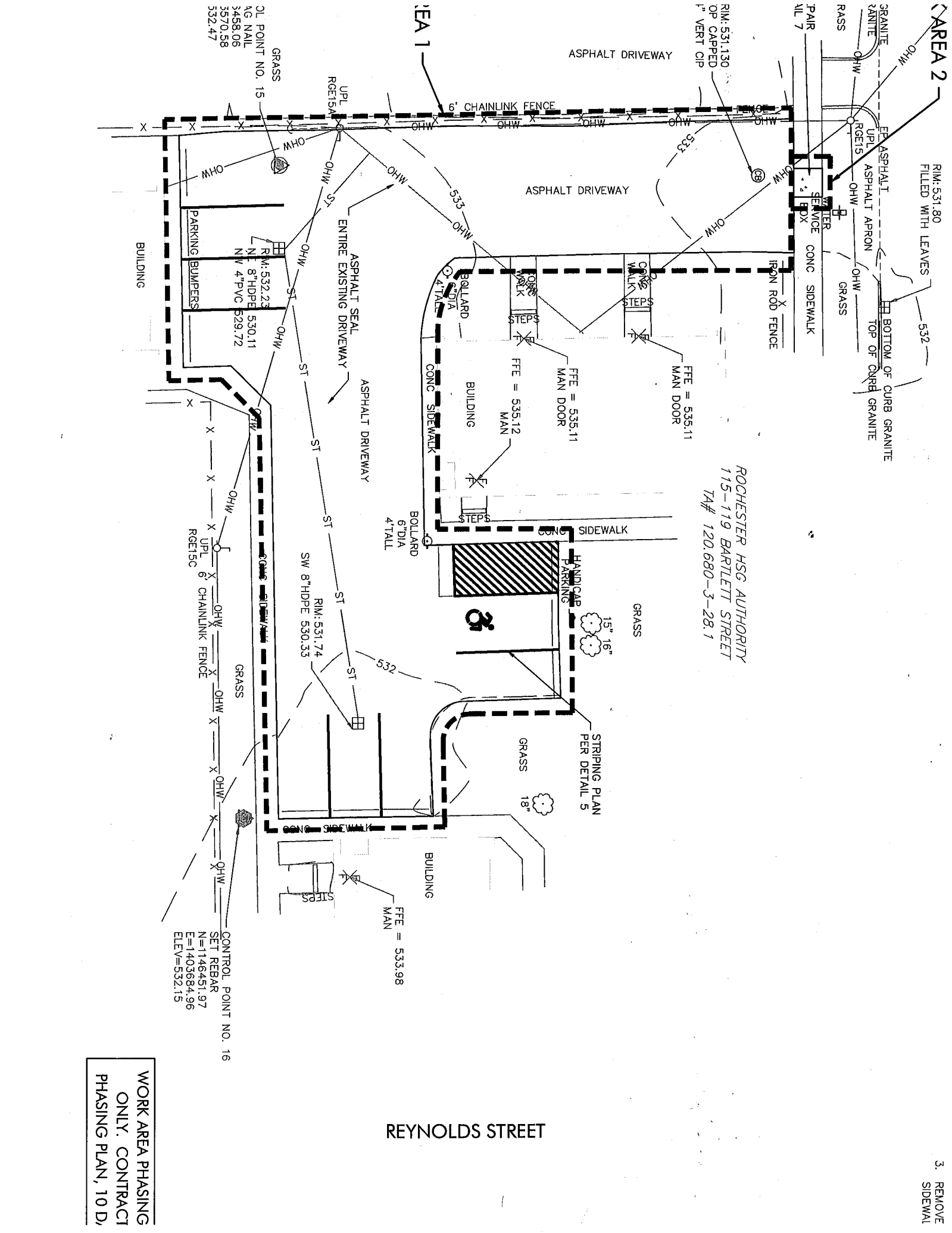


ROCHESTER HSG AUTHORITY
 90 DR SAMUEL MCCREE WAY
 7A# 120.52-2-99

WORK AREA PHASING PLAN FOR G
 ONLY. CONTRACTOR SHALL SU
 PHASING PLAN, 10 DAYS AFTER NC

6. CONTRACTOR SHALL SUPPLY AND PLACE SI
 IN ALL ADJACENT UN-PAVED AREAS.

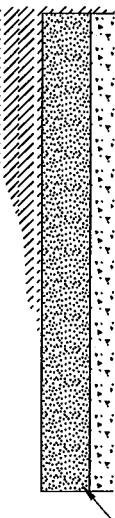
CON
 SET
 N=1
 E=1
 ELEV



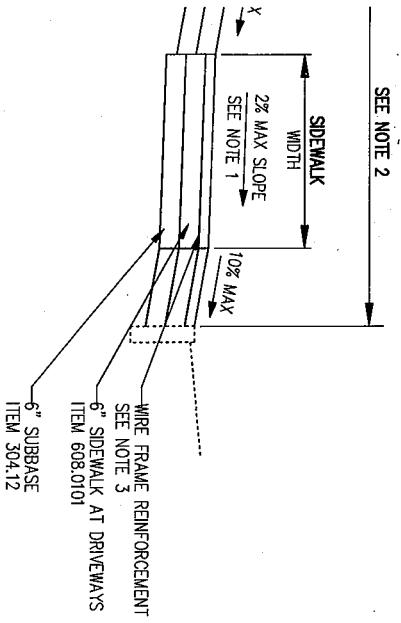
ROCHESTER HSG AUTHORITY
 115-119 BARTLETT STREET
 TA# 120.680-3-28.1

REYNOLDS STREET

WORK AREA PHASING ONLY. CONTRACT PHASING PLAN, 10 D,

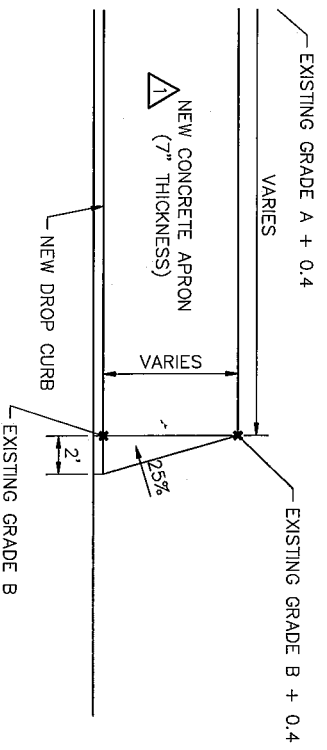


DETAIL 7
TYPICAL SIDEWALK

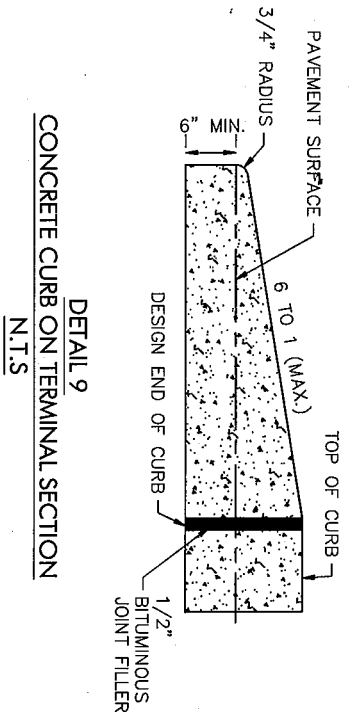


ECONSTRUCTION PROFILE SECTION

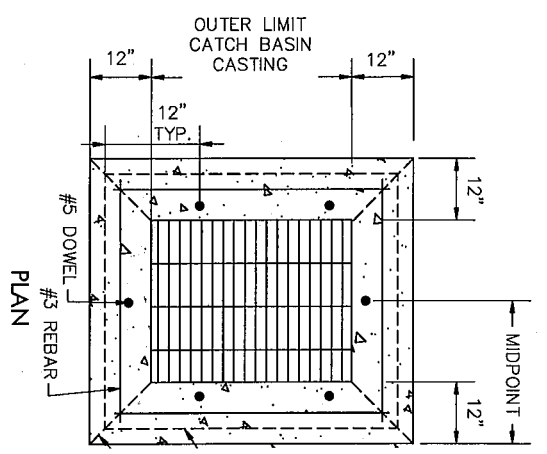
GROSS SLOPE SHALL BE LESS THAN OR EQUAL TO 2% UNLESS OTHERWISE NOTED. THE CROSS SLOPE OF THE SIDEWALK SHALL BE LESS THAN OR EQUAL TO 2% UNLESS OTHERWISE NOTED. THE CROSS SLOPE OF THE SIDEWALK SHALL BE LESS THAN OR EQUAL TO 2% UNLESS OTHERWISE NOTED. THE CROSS SLOPE OF THE SIDEWALK SHALL BE LESS THAN OR EQUAL TO 2% UNLESS OTHERWISE NOTED.



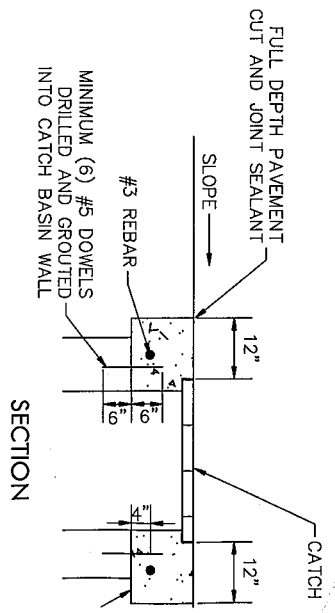
DETAIL 8
TYPICAL DRIVEWAY APRON



DETAIL 9
CONCRETE CURB ON TERMINAL SECTION
N.T.S.



DETAIL 10
CONCRETE COLLAR FOR EXISTING CAT
N.T.S.



- NOTES:
1. CASTING AND TOP OF CONCRETE ARE TO BE IN SAME HORIZONTAL PLANE AS GRADE, WITH GRATE HAVING FULL CONTINUOUS AND UNIFORM BEARING CONTACT
 2. TOP OF GRATE TO BE LEVEL WITH TOP OF FRAME, STABLE AND IMMOVABLE OF TRAFFIC OR ANY OTHER TYPE OF LOAD BEARING STRESS. FRAME TO BE SET TO BE SE
 3. DEPTH OF CONCRETE TO BE MINIMUM 12 INCHES. ACTUAL DEPTH TO BE CO
 4. WIDTH OF CONCRETE COLLAR TO BE SAME ON ALL SIDES.
 5. SCAFFRY AND/OR REMOVE TOP EXISTING WALLS TO SUFFICIENT DEPTH TO AC CONCRETE COAT TOP SURFACE OF WALL WITH NYS DOT 721-03 EPOXY POLYESTER



**City of Rochester
Right-of-Way Permit**



FAX (585) 428-6291
Phone (585) 428-6848

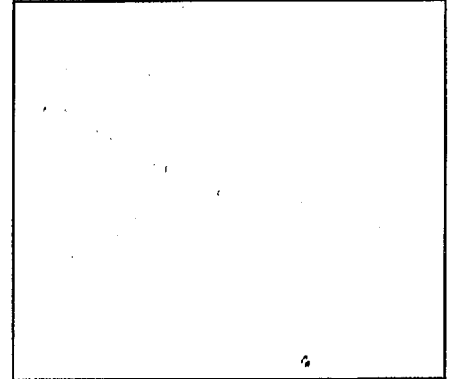
Department of
Environmental Services

Architecture and Engineering Service
Permit Office, City Hall, Room 225-B
30 Church Street
Rochester, New York 14614-1279

Permit Number: 1220441

Valid: 07/18/2022 to 12/02/2022

Fees:	Base	\$0.00	Mnmt.	\$0.00
	RPR	\$0.00	Penalty	\$0.00
	Ext. Maint.	\$0.00	Amt Waived	\$0.00
	Water	\$0.00	Total	\$0.00
	Other Adjustments	\$0.00		



Cash Register Stamp

Permit Holder: Rochester Housing Authority Contact: James Senger
P.O. Box 82 (585) 615-6243
Rochester, NY 14601

Type of Work: Driveway Aprons and Curb Cuts / Resurface Existing Dwy Aprons

Work Locations

Excavation Information

Number	Street Name	CL	RC	RH	CS	MO	Pvmnt Type	Length (ft)	Width (ft)	Area (sq ft)
115 - 115	BARTLETT ST	5	No	Yes	No	No	Medium	5	1	5
112 - 112	CENTRAL PK	3	No	No	No	No	Heavy	25	5	125
96 - 96	DR SAMUEL McCREE WA	5	No	No	No	No	Medium	25	5	125
292 - 292	TREMONT ST	5	No	No	No	No	Medium	24	5	120

(Work Locations continued on next page)

Work Description: See page 2

Specific Conditions: See page 2

All work performed pursuant to this permit shall conform to the specific conditions contained herein, the general terms and conditions attached hereto, and the City of Rochester's Standards for Work in the Right-of-Way. This permit may be revoked at any time by the City Engineer. This permit is not valid without the signature of the City Engineer.

This 4 day of May 2022

Commissioner of Deeds

WAIVED - Online Permit Issued
Signature of Permit Holder

City Engineer





City of Rochester Right-of-Way Permit



FAX (585) 428-6291
Phone (585) 428-6848

Department of
Environmental Services

Architecture and Engineering Service
Permit Office, City Hall, Room 225-B
30 Church Street
Rochester, New York 14614-1279

Permit Number: 1220441

Valid: 07/18/2022 to 12/02/2022

Specific Conditions: Concrete Sidewalks

- * Concrete sidewalks must not be covered with asphalt.

Driveway Apron with Asphalt

- * Driveway apron shall be constructed with a minimum of 6 inches of crushed stone
- * foundation and 2 inches of compacted asphalt top course, type 7F.

Driveway Apron with Concrete

- * Driveway apron to be constructed with a minimum of 6 inches of crushed stone
- * foundation and 7 inches of class "k" concrete surface treatment.

General Sidewalk Restoration

- * Sidewalks removed or damaged during work must be restored
- * to full block size with concrete.

Landscaping Restoration

- * All grass and landscaped areas shall be restored to original or better condition

Pedestrian Traffic

- * Please be sure to use 'Sidewalk Closed Cross Here' signs, placed at the nearest
- * crosswalk to detour pedestrians to the opposite side of the street while sidewalks are
- * being placed and settled.

Saw Cut Pavement prior to Excavation

- * Pavement must be saw cut prior to excavating in order to delineate trench lines
- * and minimize damage to pavement.

Street Pavement Restoration Requirements

- * Street (Mill & Resurface) Pavement Limits shall include:
- * --> 1/2 Lane (Center line to Curb) for trench excavation areas which only impact
- * (cont.) 1/2 of the Street width.
- * --> Full Lane (Curb to Curb) for trench excavation areas which impact both sides
- * (cont.) of the Street width.
- * --> Linear limits of mill & resurface requirements shall be (10') ten feet
- * (cont.) beyond both ends of the actual trench excavation.





City of Rochester Right-of-Way Permit



FAX (585) 428-6291
Phone (585) 428-6848

Department of
Environmental Services

Architecture and Engineering Service
Permit Office, City Hall, Room 225-B
30 Church Street
Rochester, New York 14614-1279

Permit Number: 1220441

Valid: 07/18/2022 to 12/02/2022

Work Description: Concrete sidewalk replacement and asphalt driveway apron replacement in the city ROW

Five properties included in driveway resurfacing and sidewalk replacement for the
SCATTERED SITE PARKING LOTS REHABILITATION PROJECT

Conjunction with Street Project? No

Are drawings attached to this application? Yes

Work Locations (continued)

Excavation Information (continued)

<u>Number</u>	<u>Street Name</u>	<u>CL</u>	<u>RC</u>	<u>RH</u>	<u>CS</u>	<u>MO</u>	<u>Pvmnt Type</u>	<u>Length (ft)</u>	<u>Width (ft)</u>	<u>Area (sq ft)</u>
223 - 223	TROUP ST	5	No	No	No	No	Medium	20	5	100

